

VICINITY MAP
SCALE: 1" = 100'

SITE DATA TABULATION

OWNER:
1) MAYFAIRE II LLC
530 S.E. GREENVILLE BLVD, STE 200
GREENVILLE, NC 27858
2) ROMAN CATHOLIC DIOCESE OF RALEIGH
7200 STONEHENGE DRIVE
RALEIGH, NC 27613

PROJECT ADDRESS: 1011 EASTWOOD ROAD
WILMINGTON, NC 28403

TAX PARCEL IDENTIFICATION #:
1) R05000-003-012-000
2) R05000-003-006-001

RECORDED DEED BOOK:
1) BK 5843, PG 1291
2) BK 967, PG 640

TOTAL SITE AREA:
1) 39.49 ACRES (1,720,180 SF)
2) 12.28 ACRES (534,917 SF)

CURRENT ZONING: R-15 (BOTH PARCELS)
CAMA LAND USE CLASSIFICATION: WATERSHED RESOURCE PROTECTION
EXISTING LAND USE: ROADWAY & CHURCH
PROPOSED LAND USE: ROADWAY & CHURCH

IMPERVIOUS INFORMATION

EXISTING IMPERVIOUS TO BE REMOVED =	16,423 SF	MAYFAIRE II	0 SF
TO REMAIN =	0 SF		
TOTAL EXISTING =	16,423 SF		0 SF

PROPOSED IMPERVIOUS

ASPHALT ROADWAY/PARKING/C&G	16,308 SF	21,796 SF
SIDEWALK/MULTI-USE PATH	5,738 SF	5,494 SF
TOTAL PROPOSED =	22,046 SF	27,290 SF

NET IMPERVIOUS = TOTAL PROPOSED IMPERVIOUS - EXISTING IMPERVIOUS TO BE REMOVED
NET IMPERVIOUS = 22,046 SF - 16,423 SF = 5,623 SF

EX. IMPERVIOUS UNDISTURBED + PROPOSED % IMPERVIOUS

295,956 SF	27,333 SF
55.24%	1.59%

GENERAL NOTES

- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
- ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD STANDARDS.
- ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT OF WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
- ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
- ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
- ALL RADIUS DIMENSIONS ARE MEASURED AT FACE OF CURB UNLESS OTHERWISE NOTED.

TREE REMOVAL

- TREES TO BE REMOVED ARE SHOWN ON SITE INVENTORY PLAN (C-2.0). REFER TO C-2.0 FOR TREE REMOVAL AND MITIGATION CHART.

KEY NOTES:

1 CONCRETE PAVING: REFER TO DETAIL C-6.0	8 PAVEMENT MARKINGS: REFER TO DETAIL C-6.0.
2 ASPHALT PAVING: REFER TO DETAIL C-6.0	9 C.O.W. 24" MEDIAN VERTICAL CURB & GUTTER: REFER TO DETAIL C-6.0.
3 STANDARD 24" CURB & GUTTER: REFER TO DETAIL C-6.0	10 TACTILE WARNING MAT: REFER TO DETAIL C-6.0
4 NCDOT 1'-6" CURB & GUTTER: REFER TO DETAIL C-6.0	11 LIGHT POLE: REFER TO STREET LIGHTING NOTES ON SHEET C-2.2
5 CONCRETE SIDEWALK: REFER TO DETAIL C-6.0	12 TREE PROTECTION FENCING: REFER TO DETAIL C-6.1
6 CURB RAMP: REFER TO DETAIL C-6.0	13 DRAINAGE FLUME: REFER TO DETAIL C-6.2
7 STRIPING: PROVIDE 4" WIDE PARKING LOT STRIPING AS SHOWN. USE HIGHWAY MARKING PAINT - WHITE (2 COATS).	

Approved Construction Plan

Name: _____ Date: _____

Planning _____

Traffic _____

Fire _____

Date: _____ Permit # _____

Signed: _____

GENERAL NOTES

- ALL DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE CITY OF WILMINGTON LAND DEVELOPMENT CODE.
- PROJECT SHALL COMPLY WITH ALL FEDERAL, STATE, AND NEW HANOVER COUNTY REGULATIONS.
- PRIOR TO ANY CLEARING, GRADING, OR CONSTRUCTION ACTIVITY, TREE PROTECTION WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
- ONCE STREETS ARE OPEN TO TRAFFIC, CONTACT TRAFFIC ENGINEERING TO REQUEST INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. PROPOSED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
- TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
- ANY BROKEN OR MISSING SIDEWALK PANELS WILL BE REPLACED.
- ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT OF WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER.
- ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
- A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. IN CERTAIN CASES, AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
- INSTALL REFLECTORS PER CITY AND NCDOT STANDARDS.
- A LANDSCAPING PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION AND RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO THE RECORDING OF THE PLAN.
- CONTACT TRAFFIC ENGINEERING AT 341-7888 FORTY-EIGHT (48) HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT OF WAY.
- TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING LAYOUT PRIOR TO ACTUAL STRIPING.

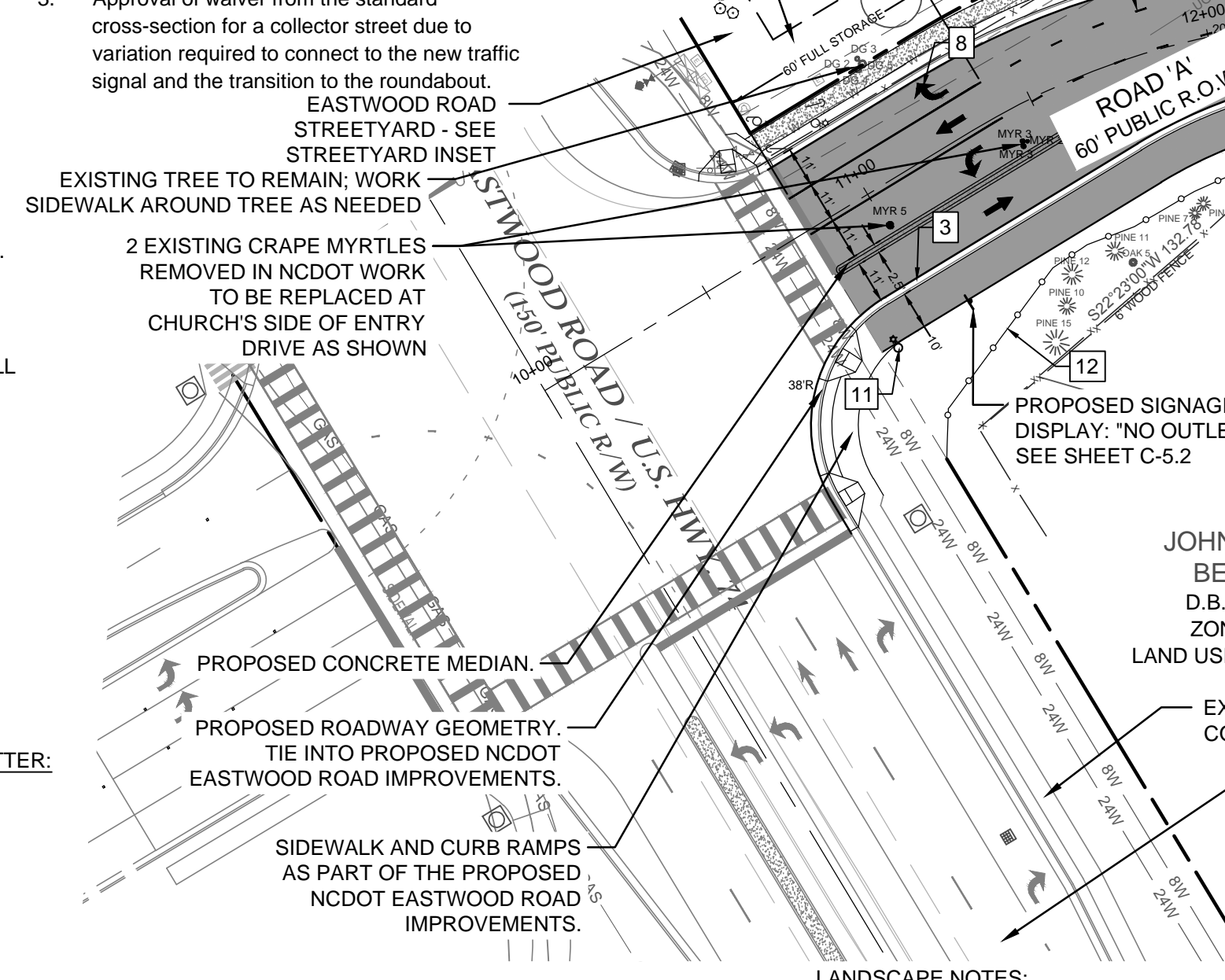
PLANT SCHEDULE

TREES	BOTANICAL NAME / COMMON NAME	CONT	QTY
	ILEX X ATTENUATA / FOSTER NO. 2 / FOSTER HOLLY	8' HT. MIN; MATCH EXISTING	10
	QUERCUS MARILANDICA / BLACKJACK OAK	2"-2.5" CAL	5
SHRUBS	BOTANICAL NAME / COMMON NAME	CONT	QTY
	ILEX VOMITORIA / BORDEAUX / DWARF YAUPON HOLLY	3 GAL / 12" H. (MIN.)	61
	ILEX VOMITORIA / SCHILLINGS DWARF / DWARF SCHILLINGS HOLLY	3 HT. AT INSTALL	32

* ALL PROPOSED PLANTS ARE XERISCAPE PLANTS USED FOR DROUGHT TOLERANCE
** 4 CRAPE MYRTLES NEEDED TO REPLACE 4 EXISTING CRAPE MYRTLES PREVIOUSLY REMOVED/TO BE REMOVED TO MATCH EXISTING VARIETY AND BE NO LESS THAN 8'

LIST OF WAIVERS

- Approval of waiver from the minimum tangent length due to the constraints created by the signal alignment and roundabout approach.
- Approval of waiver from the minimum horizontal curve radius due to the constraints created by the necessary connection of the St. Mark parking lot to the roundabout.
- Approval of waiver from the minimum median width due to the need to connect to the existing right-of-way, maintain the sidewalk and multi-use path, and restrict left turns.
- Approval of waiver from the standard cross-section for a collector street due to variation required to connect to the new traffic signal and the transition to the roundabout.



LANDSCAPE NOTES:

- CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- TREES SHALL BE LOCATED A MINIMUM OF 5 FEET FROM SEWER/WATER CONNECTIONS OR AS OTHERWISE DICTATED BY LOCAL REGULATIONS. CONTRACTOR SHALL BE LIABLE FOR DAMAGE TO ANY AND ALL PUBLIC OR PRIVATE UTILITIES.
- STAKE ALL TREES AS SHOWN IN DETAIL OR AS OTHERWISE DIRECTED BY OWNER OR OWNER'S REPRESENTATIVE.
- ALL PLANT MATERIAL SHALL MEET THE CURRENT VERSION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARDS.
- NO EXISTING TREES SHALL BE REMOVED WITHOUT WRITTEN AUTHORIZATION FROM THE LANDSCAPE ARCHITECT, OWNER'S REPRESENTATIVE, OR AS APPROVED BY CITY OF WILMINGTON REPRESENTATIVES DURING TREE PROTECTION FENCING SITE REVIEW.
- SET ALL TREES IN 5" MINIMUM DIAMETER PINE STRAW MULCH BED.
- ALL SHRUB BEDS AND/OR PLANTING AREAS EXCLUDING SEEDING AREAS SHALL BE MULCHED WITH 3 INCH MINIMUM AND 4 INCH MAXIMUM DEPTH PINE STRAW MULCH UNLESS OTHERWISE NOTED.
- PLANTING SOIL MIX: MIX EXISTING SOIL WITH THE SOIL AMENDMENTS AND FERTILIZERS IN THE QUANTITIES RECOMMENDED BY THE SOIL TESTING LABORATORY, THIRD PARTY RECOGNIZED BY THE STATE DEPARTMENT OF AGRICULTURE OR AS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
- ANY AND ALL SUBSTITUTIONS OF PLANT MATERIAL SHALL BE APPROVED BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. FAILURE IN OBTAINING APPROVAL MAY RESULT IN LIABILITY TO THE CONTRACTOR.
- THE CONTRACTOR SHALL REPLACE DEAD AND/OR UNHEALTHY PLANT MATERIAL WITHIN 12 MONTHS OF ACCEPTANCE OF THE INSTALLED MATERIAL FROM THE OWNER OR OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL PREPARE ALL TURF AREAS TO HAVE A SMOOTH, EVEN TURF COVERAGE AND SURFACE THAT IS FREE OF DIVOTS, HOLES, AND DEBRIS WITH NO BARE SPOTS. ROLL ALL SOD AREAS IN DRY CONDITIONS AND AFTER SOIL SETTLING OCCURS TO ASSURE SMOOTH, EVEN SURFACE.
- CONTRACTOR SHALL REVIEW WITH AND INSTALL IRRIGATION AS REQUIRED BY OWNER. IF A SYSTEM IS NEEDED, A 2 WIRE AUTOMATED IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED BY A LICENSED IRRIGATION CONTRACTOR IN THE STATE OF NORTH CAROLINA. THE CONTRACTOR SHALL USE WELL WATER AND ASSESS CURRENT WELLS TO BE SURE THEY CAN HANDLE THE NEW PROJECT. IF NOT, THE CONTRACTOR SHALL COORDINATE WITH OWNER TO SECURE WATER SOURCE.
- ALL IRRIGATION NEAR WALKS AND BUILDINGS SHOULD MINIMIZE OVERSPRAY OF WATER TO THE GREATEST EXTENT POSSIBLE.
- THE CONTRACTOR IS RESPONSIBLE FOR HAND WATERING THE INSTALLED PLANT MATERIAL FOR A PERIOD OF 1 YEAR FROM THE OWNER'S SITE ACCEPTANCE IF IRRIGATION HAS NOT BEEN INSTALLED OR IS NOT OPERATIONAL. ALL MATERIAL, INCLUDING TURF AREAS SHALL BE HAND WATERED ONCE WEEKLY OR AS NEEDED TO ENSURE HEALTHY, THRIVING PLANTS.
- CONTRACTOR SHALL PLANT STREET TREES AS CLOSE TO CITY REGULATIONS AS POSSIBLE. HOWEVER, SITE CONDITIONS INCLUDING THE LOCATIONS OF DRIVEWAYS, SIGNS, ETC. MAY REQUIRE ADJUSTMENT FROM PROPOSED PLAN.
- ALL LANDSCAPE PLANTINGS WILL BE COMPLIANT WITH ARTICLE 8 OF THE CITY OF WILMINGTON LDC. IF OWNER REQUESTS ADDITIONAL PLANTINGS WITHIN SIGHT TRIANGLES, ALL PLANTINGS WILL BE LIMITED TO SHRUBS AND/OR ORNAMENTAL GRASSES LESS THAN 30" IN HEIGHT.
- ALL PROPOSED VEGETATION WITHIN SIGHT DISTANCE TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30' - 10' IN ACCORDANCE WITH SECTION 18-256 OF THE CITY OF WILMINGTON LAND DEVELOPMENT CODE. IN CASES WHERE SIGHT DISTANCE TRIANGLES INTERFERE WITH OTHER REQUIRED BUFFER OR PLANTING AREAS, THE SIGHT DISTANCE TRIANGLE WAS MAINTAINED AND PLANTINGS WERE ADJUSTED TO ALLOW FOR PROPER SIGHT LINES.
- CONTRACTOR IS RESPONSIBLE FOR REMOVING TRASH, DEBRIS AND EXCESS MATERIALS FROM THE JOB SITE ONCE THE PROJECT IS COMPLETE. SECURING ANY MATERIALS LEFT ON SITE DURING THE COURSE OF THE PROJECT IS THE CONTRACTOR'S RESPONSIBILITY.

STREET LIGHTING NOTES:

- THE STANDARD STREETLIGHT SHALL BE A DEP ENCLOSED CUTOFF (COBRA TYPE), HIGH PRESSURE SODIUM VAPOR (HPSV) OR DEP DESIGNATED LED EQUIVALENT FIXTURE INSTALLED WITHIN THE RECOMMENDED RANGE OF MOUNTING HEIGHTS FOR THE SPECIFIC FIXTURE. THE STANDARD STREETLIGHT SHALL BE INSTALLED ON A WOODEN POLE IN AREAS SERVED FROM OVERHEAD FACILITIES AND ON A FIBERGLASS POLE IN AREAS SERVED FROM UNDERGROUND FACILITIES.
- A LAYOUT FOR THE STANDARD STREET LIGHTING HAS BEEN PROVIDED WITH THE REVIEW. MINIMUM OF FIVE (5) STREET LIGHTS ARE REQUIRED FOR THIS SUB-DIVISION. ALTHOUGH, DEVELOPERS MAY CHOOSE TO PROVIDE ANY EXTRA LIGHTS OR ORNAMENTAL. ANY INSTALLATIONS ABOVE THE CRITERIA OF STANDARD STREET LIGHTING, WILL BE CONSIDERED AS NONSTANDARD AND HAS TO CONFORM TO THE CITY'S NON-STANDARD STREET LIGHTING PROCEDURE AS PER THE POLICY.
- DEVELOPERS SHALL BEAR ANY INSTALLATION COSTS ASSOCIATED WITH STREETLIGHTS, IF APPLICABLE. IN AREAS SERVED FROM UNDERGROUND FACILITIES, THE DEVELOPERS SHALL PAY THE ONE-TIME UNDERGROUND CONTRIBUTION CHARGE, IF APPLICABLE.
- THE PLANNING, DEVELOPMENT AND TRANSPORTATION DIRECTOR OR DESIGNEE AND THE CITY LANDSCAPE DESIGNER WILL COORDINATE PLAZA PLANTINGS AND STREETLIGHT LOCATIONS TO MINIMIZE THE OBSTRUCTION OF LIGHT BY VEGETATION.
- ALL STREET LIGHTS SHALL BE INSTALLED WITHIN THE PUBLIC ROW.

FLOOD NOTE
THE SUBJECT PARCEL IS NOT LOCATED WITHIN A 100-YEAR FLOOD ZONE AS INDICATED BY FEMA FLOOD ZONE PANEL 3720314700K BEARING AN EFFECTIVE DATE OF AUGUST 28, 2018.

UTILITIES
WATER AND SEWER UTILITIES WILL BE PROVIDED BY CFPWA.

STREETYARD NOTES
PROPOSED STREET (SECONDARY STREETYARD): 25 NEW SPACES ARE PROVIDED; UDO SEC 18-510 REQUIRES FULL OR 1/2 STREETYARD
REQUIRED PLANTING IN STREETYARD (280 LF STREET FRONTAGE) 100 LF x 12 = 3360 / 2 = 1680 / 600=2.8):
REQUIRED:
1 CANOPY (3 UNDERSTORY TREES = 1 CANOPY TREE) X 2.8 = 3 CANOPY TREES REQ'D
6 SHRUBS X 2.8 = 17 SHRUBS
PROVIDED:
EQUIVALENT OF 3 CANOPY TREES; 6 EXISTING UNDERSTORY TREES TO BE TRANSPLANTED TO STREETYARD, 1 ADDITIONAL CANOPY TREE ADDED; 17 SHRUBS
EXISTING EASTWOOD RD STREETYARD ADDED: 18' WIDE UNDER POWERLINES; CONTAINS 16 UNDERSTORY TREES, 50 SHRUBS; (485 LF TO PROPOSED NEW STREET'S ROW X 12 = 10; 10x3 UNDERSTORY TREES = 30 TREES, 10 x 6 = 60 SHRUBS REQUIRED TOTAL)
TO COMPLY WITH CODE, 14 ADDITIONAL UNDERSTORY TREES AND 10 SHRUBS PROVIDED

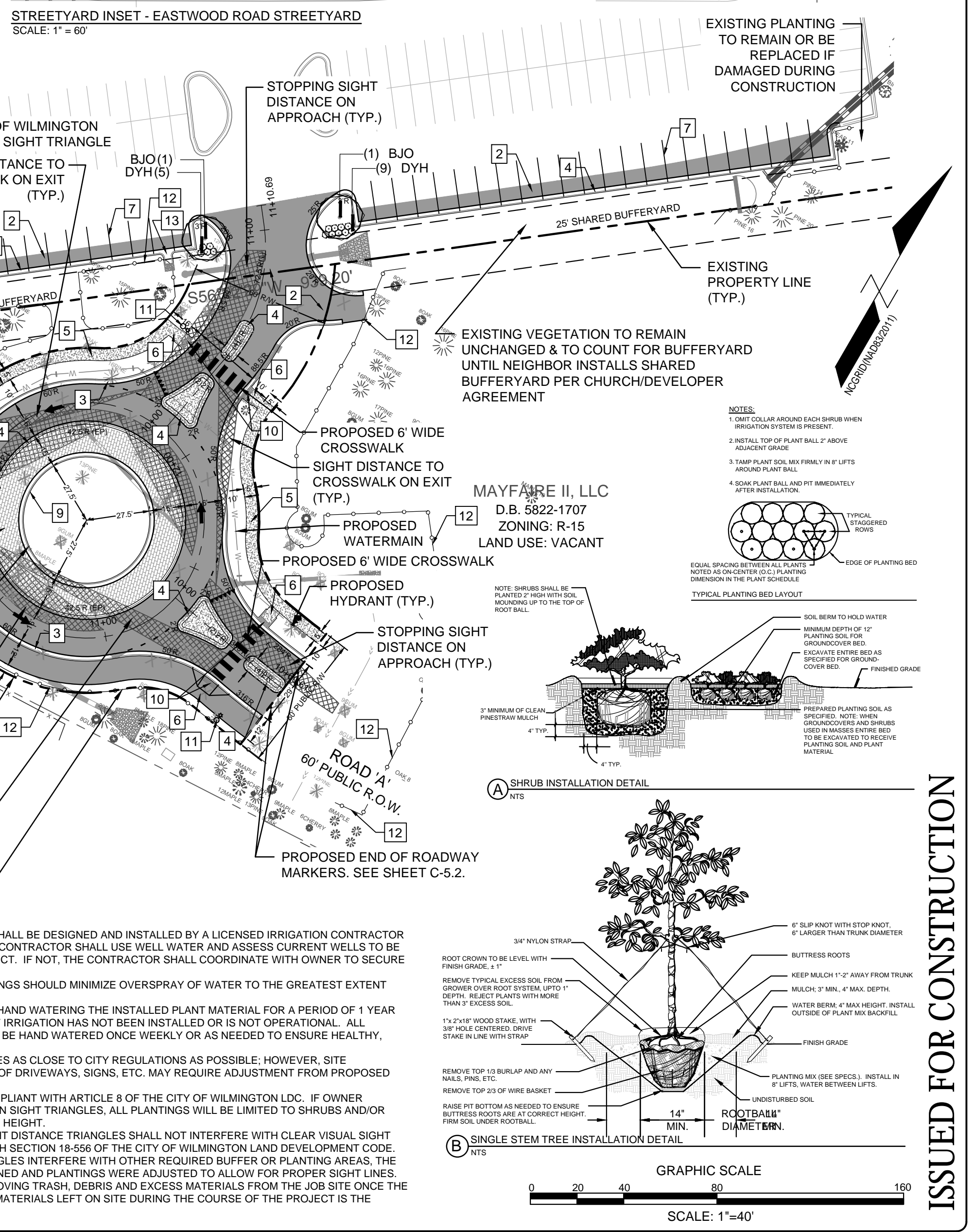
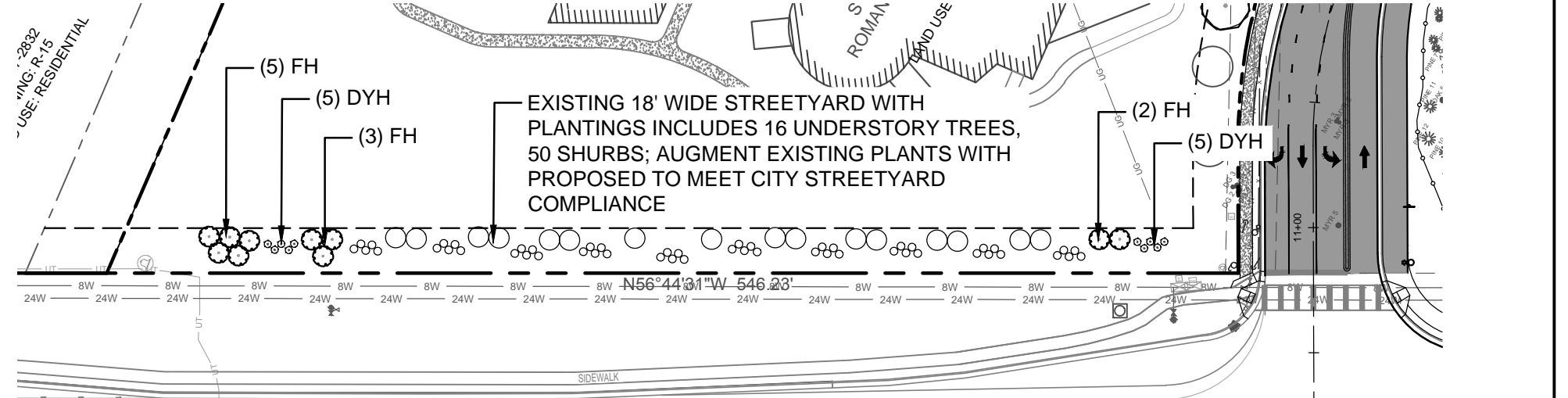
STREETYARD INSET - EASTWOOD ROAD STREETYARD
SCALE: 1" = 60'

1011 EASTWOOD ROAD - SRB CONDITIONS

- The use and development of the subject property shall comply with all regulations and requirements imposed by the Land Development Code, City of Wilmington Technical Standards and Specifications Manual, and any other applicable federal, state, or local law, ordinance or regulation, as well as any condition stated below. In the event of a conflict, the more stringent requirement or higher standard shall apply.
- Approval of this preliminary plan does not constitute technical approval of a site plan. Final approval by the Technical Review Committee and the issuance of all required permits must occur prior to release of the project for construction.
- If, for any reason, any condition for approval is found to be illegal or invalid or if the applicant should fail to accept any condition following approval, the approval of the preliminary plan shall be null and void.

1011 EASTWOOD ROAD - SPECIAL USE PERMIT CONDITIONS

- The property shall be subject to all of the specific requirements stated in the Land Development Code for the proposed use as well as any additional conditions stated below.
- The use and development of the subject property shall comply with other supplemental regulations and requirements imposed by the Land Development Code or any other applicable federal, state or local law, ordinance or regulation. In the event of a conflict, the more stringent requirement or higher standard shall apply.
- If, for any reason, any condition for approval is found to be illegal or invalid or if the applicant should fail to accept any condition following approval, the approval of the site plan for the district shall be null and void and no effect and proceedings shall be instituted to rezone the property to its previous zoning classification.
- The use and development of the property shall be in accordance with the plan and elevations as submitted and approved.
- Approval of this special use permit does not constitute technical approval of the site plan. All Technical Review Committee comments shall be followed prior to issuance of a construction release or final zoning approval.



REVISIONS:
1) REVISED PER CLIENT.

PROJECT INFORMATION:
ROMAN CATHOLIC DIOCESE OF RALEIGH
7200 STONEHENGE DRIVE
RALEIGH, NC 27613

PARAMOUNT ENGINEERING, INC.
122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (O) / (910) 791-6700 (F)
N.C. License #: C-2846

SITE & PLANTING PLAN
ST. MARK CATHOLIC CHURCH & MAYFAIRE II ENTRANCE
1011 EASTWOOD ROAD
WILMINGTON, NC 28403

PROJECT STATUS
CONCEPTUAL LAYOUT: _____
FINAL DESIGN: _____
ISSUED FOR CONSTRUCTION: _____

DRAWING INFORMATION
DATE: 06/20/18
SCALE: 1" = 40'
DESIGNED BY: AEC
DRAWN BY: AEC
CHECKED BY: RPB

Professional Seal redacted on electronic copy per City of Wilmington Policy

C-2.2

PEI JOB#: 16247.PE

WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____

NCDENR PWSS WATER PERMIT #:	_____
WATER CAPACITY:	_____ GPD
DWQ SEWER PERMIT #:	_____
SEWER CAPACITY:	_____ GPD
SEWER SHED # AND PLANT:	_____
SEWER TO FLOW THROUGH NEI:	YES or NO (CIRCLE ONE)

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



Know what's below. Call before you dig.

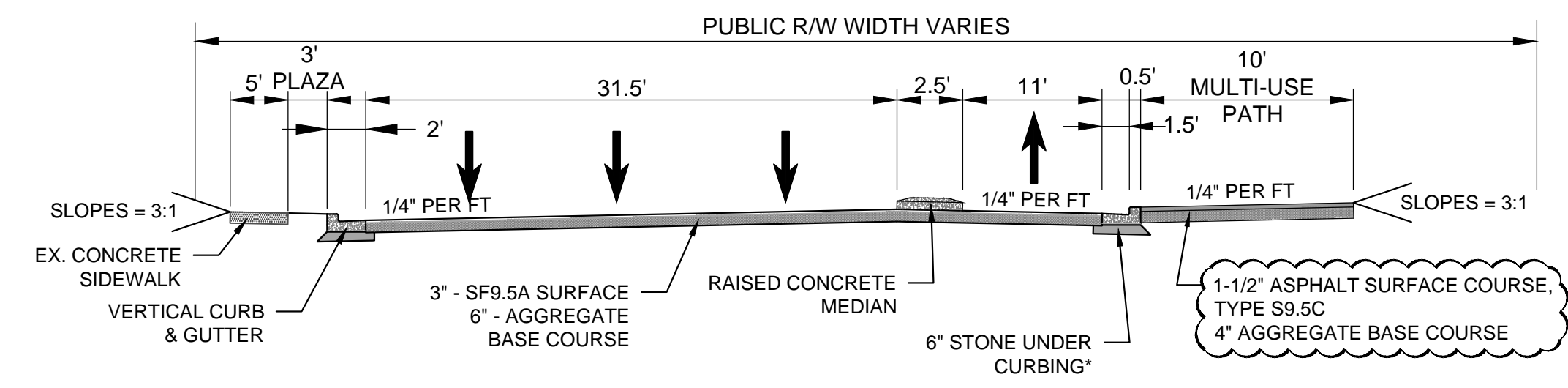
Approved Construction Plan

Name _____ Date _____

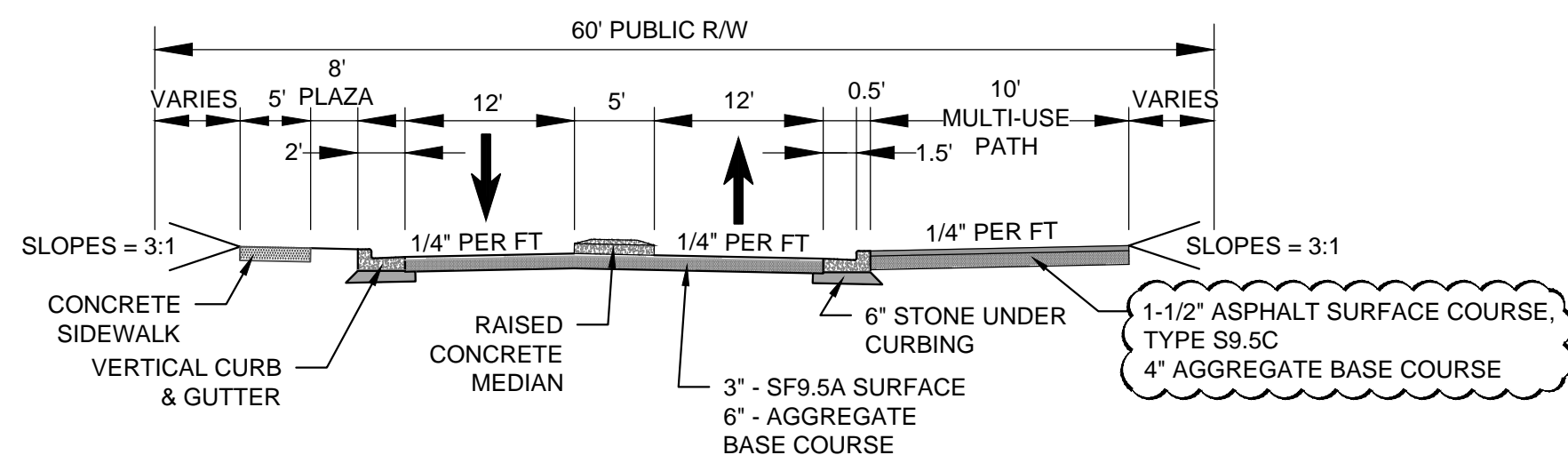
Planning _____

Traffic _____

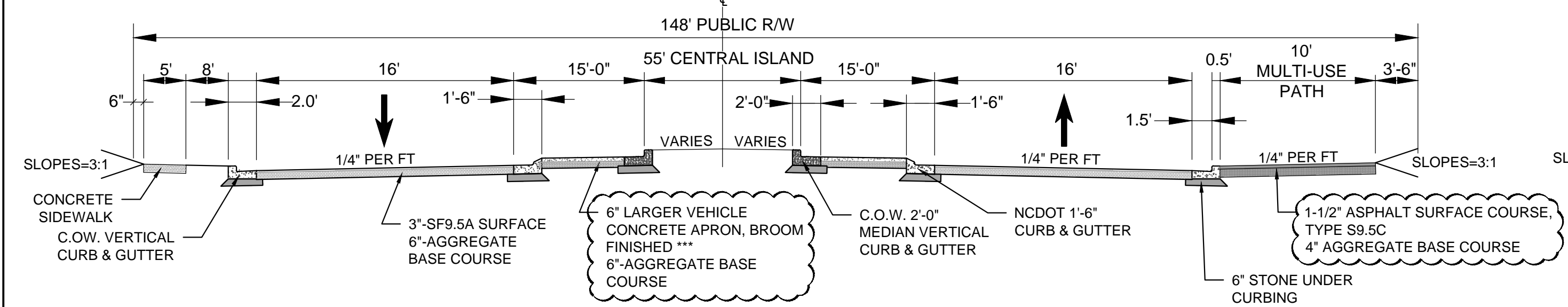
Fire _____



**ROAD A - STA. 11+00
TYPICAL CROSS SECTION**
NOT TO SCALE

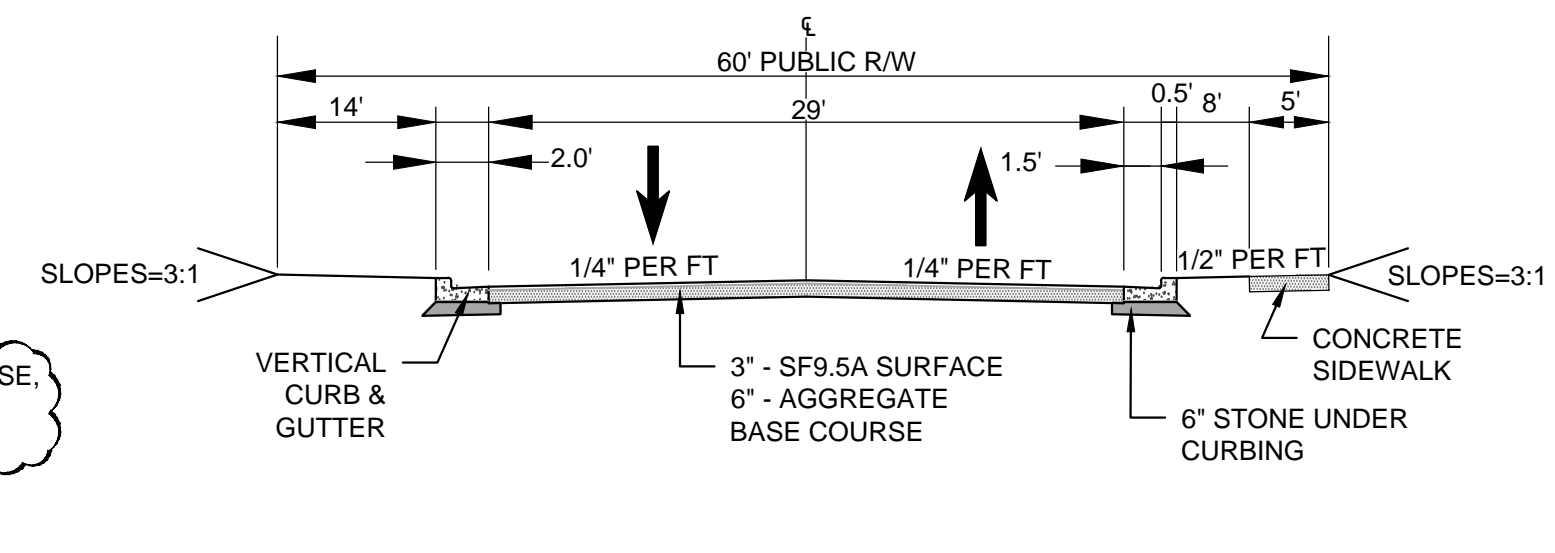


**ROAD A - STA. 14+00
TYPICAL CROSS SECTION**
NOT TO SCALE

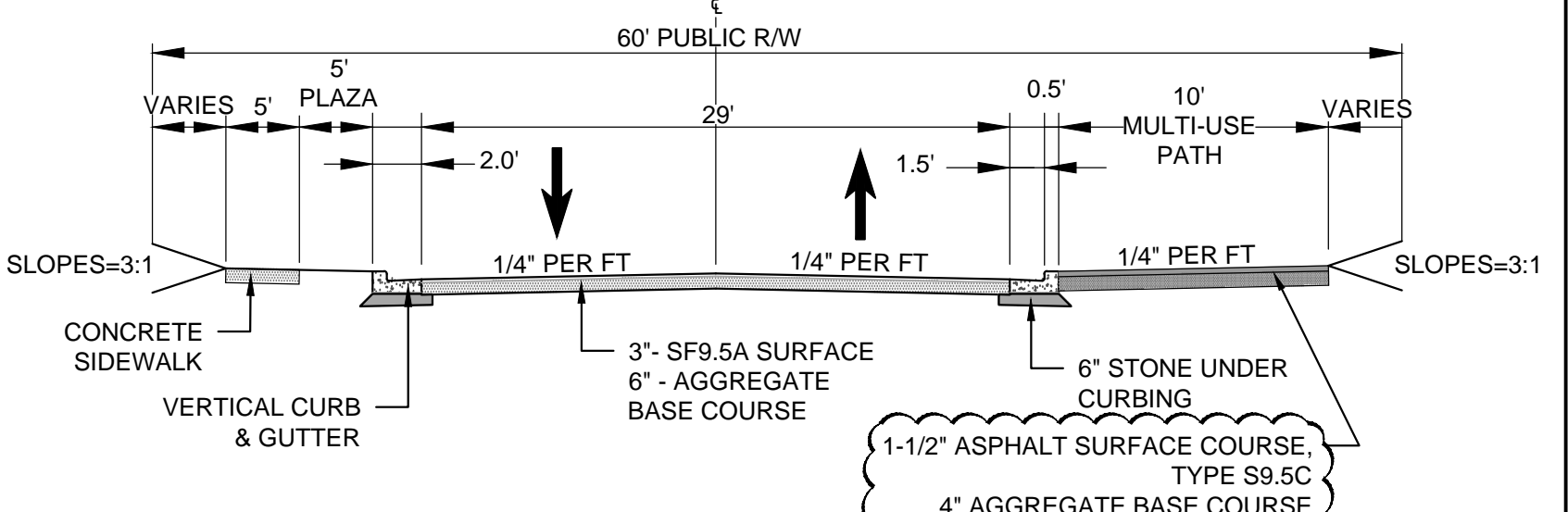


ROAD A - TYPICAL ROUNDABOUT CROSS SECTION
NOT TO SCALE

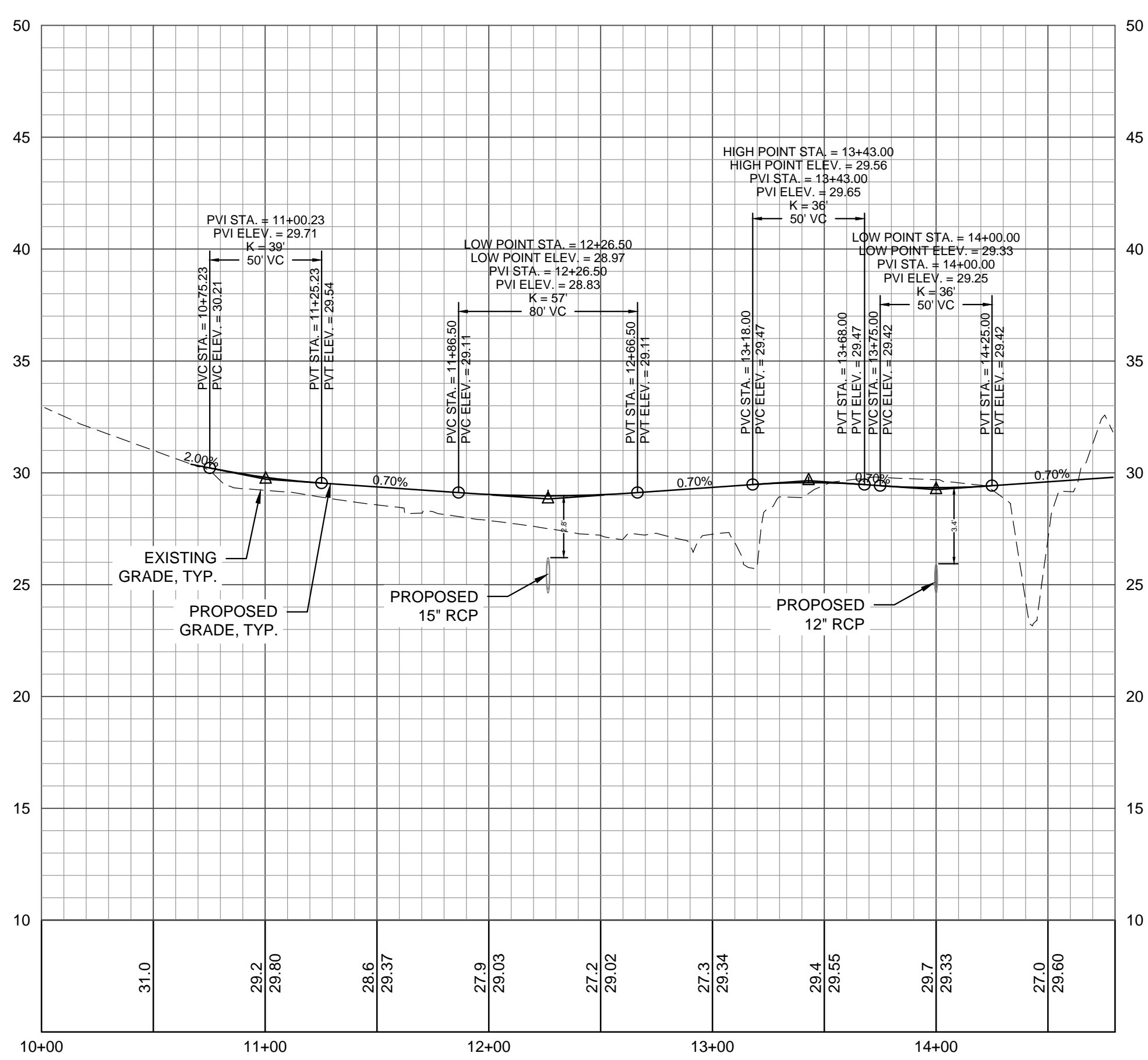
*** CONTRACTOR SHALL PROVIDE CONTROL JOINTS ON 10' CENTERS RADIALLY AND EXPANSION JOINTS ON QUARTER CIRCLE LOCATIONS AND ADJACENT TO CURBS.



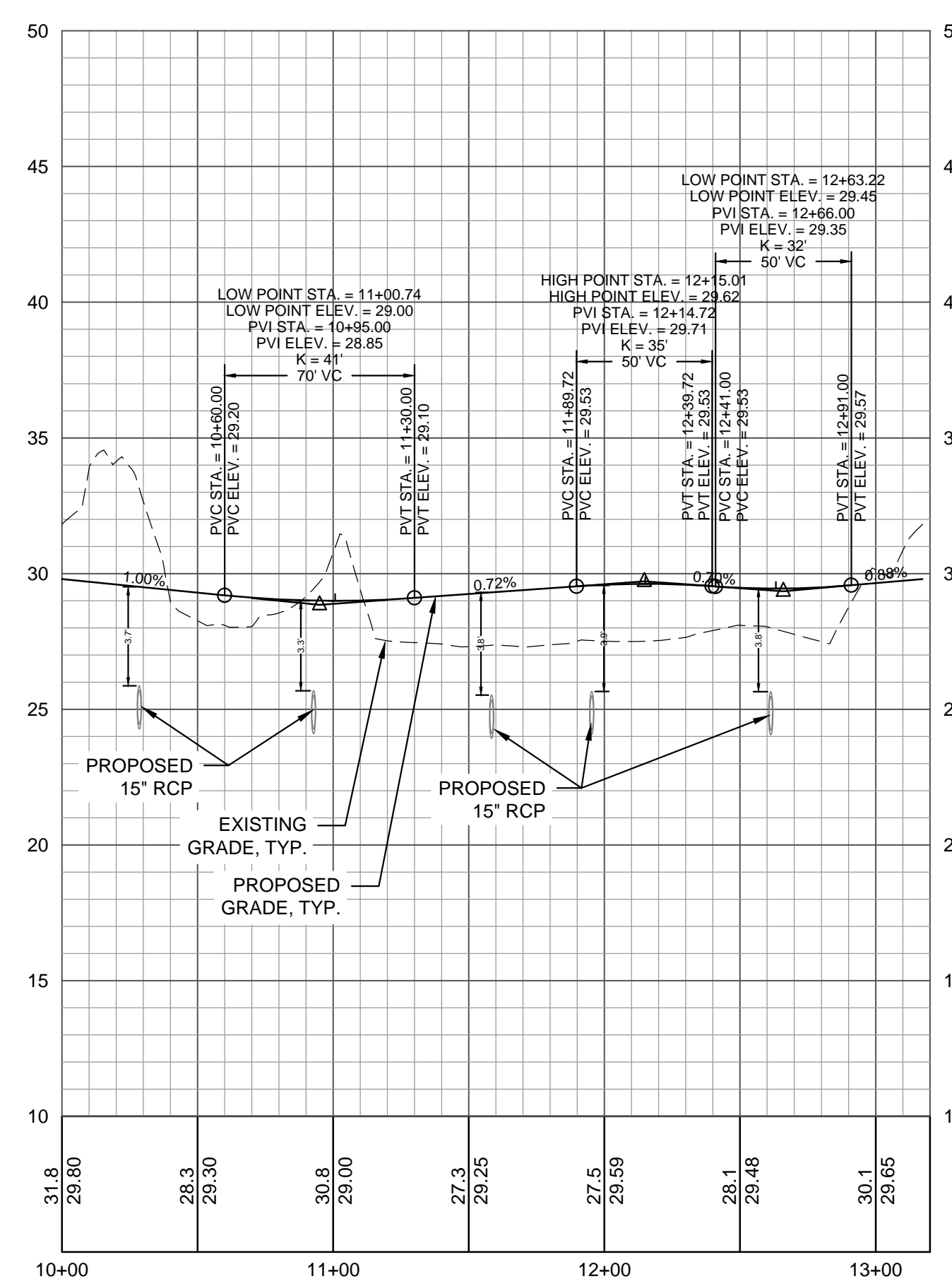
**DRIVEWAY TO ST MARK - STATION 10+50
TYPICAL CROSS SECTION**
NOT TO SCALE



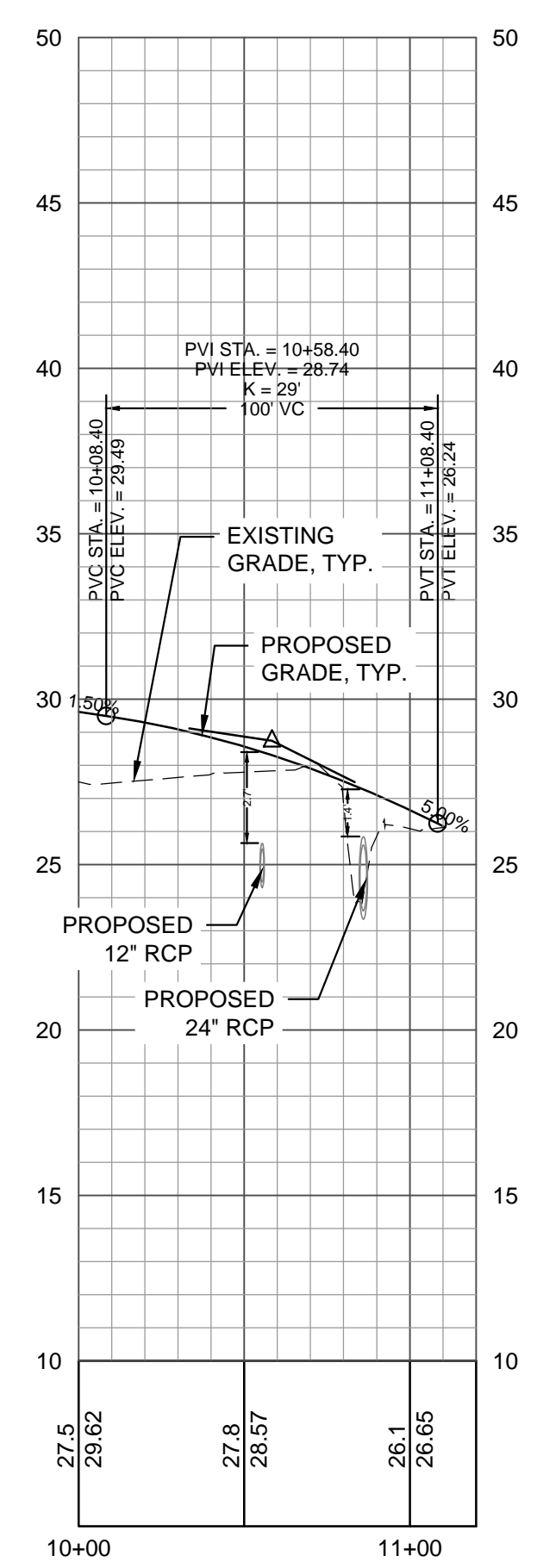
**ROAD A MAYFAIRE II FUTURE - STATION 10+50
TYPICAL CROSS SECTION**
NOT TO SCALE



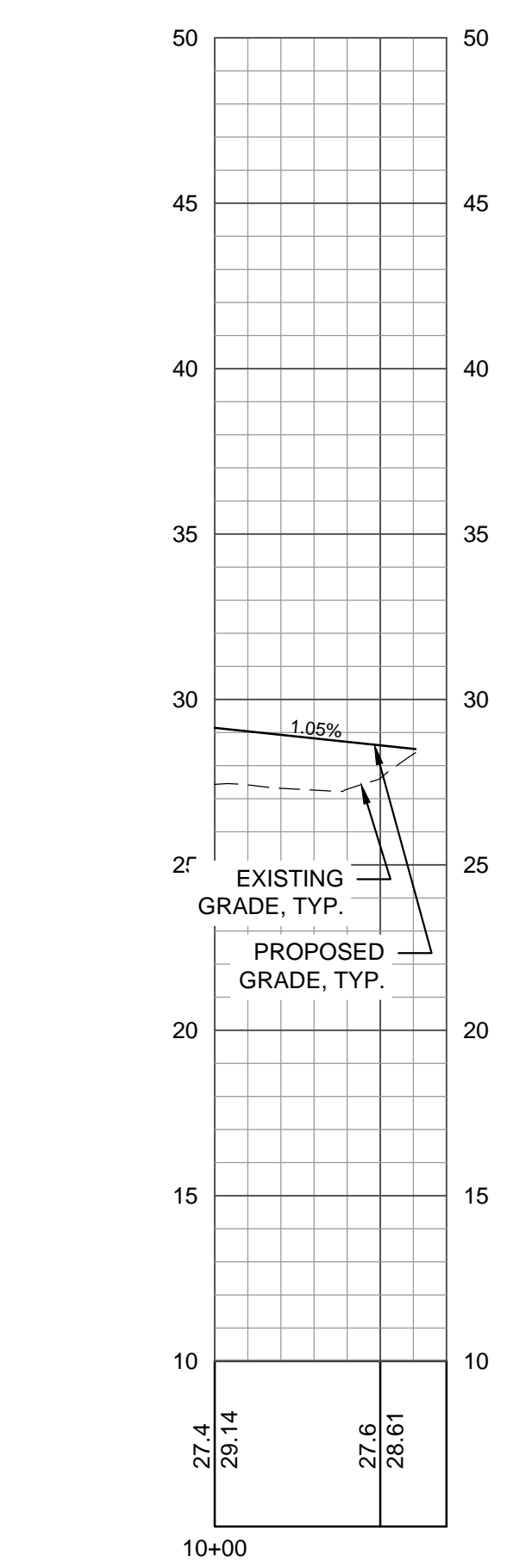
ROAD A (STA. 10+00 - 14+80)
HORIZONTAL SCALE: 1"=50'
VERTICAL SCALE: 1"=5'



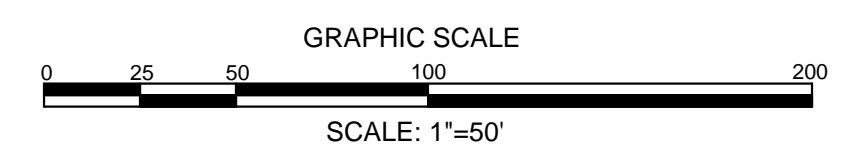
**ROAD A - ROUNDABOUT
(STA. 10+00 - 13+17)**
HORIZONTAL SCALE: 1"=50'
VERTICAL SCALE: 1"=5'



**ST MARK DRIVEWAY
(STA. 10+00 - 11+11)**
HORIZONTAL SCALE: 1"=50'
VERTICAL SCALE: 1"=5'



**ROAD A MAYFAIRE II FUTURE
(STA. 10+00 - 10+61)**
HORIZONTAL SCALE: 1"=50'
VERTICAL SCALE: 1"=5'



REVISIONS:

1	REVISED PER CLIENT.
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CLIENT INFORMATION:
ROMAN CATHOLIC DIOCESE OF RALEIGH
7200 STONEHENGE DRIVE
RALEIGH, NC 27613

PARAMOUNT ENGINEERING
122 Cinema Drive
Wilmington, North Carolina 28403
(910) 791-6707 (O) (910) 791-6760 (F)
NC License #: C-2846

ROAD PROFILES & TYPICAL SECTIONS
ST. MARK CATHOLIC CHURCH &
MAYFAIRE II ENTRANCE
1011 EASTWOOD ROAD
WILMINGTON, NC 28403

PROJECT STATUS:

CONCEPTUAL LAYOUT:	_____
PRELIMINARY LAYOUT:	_____
RELEASED FOR CONST.:	_____

DRAWING INFORMATION:

DATE:	06/28/19
SCALE:	1"=50'
DESIGNED:	RPB
CHECKED:	RPB

Professional Seal redacted on electronic copy per City of Wilmington Policy

C-5.1

PEI JOB#: 16247.PE

ISSUED FOR CONSTRUCTION